

2.10 REFERENCE NO - 19/501160/REM		
APPLICATION PROPOSAL Reserved Matters relating to layout, scale and appearance of the proposed building and the landscaping of the site pursuant to outline application 16/505299/OUT for construction of a 60 bed care home (within Class C2).		
ADDRESS Coleshall Farm Ferry Road Iwade Kent ME9 8QY		
RECOMMENDATION Grant subject to conditions		
SUMMARY OF REASONS FOR RECOMMENDATION The proposal is in accordance with national and local planning policy.		
REASON FOR REFERRAL TO COMMITTEE More than 3 neighbour objections have been received, and one of the ward councillors, Cllr Roger Clark, has requested the application to be decided at Planning Committee.		
WARD Bobbing, Iwade And Lower Halstow	PARISH/TOWN Iwade	COUNCIL APPLICANT Frontier Estates (Frome) Ltd - AGENT Gillings Planning Ltd
DECISION DUE DATE 20/06/19	PUBLICITY EXPIRY DATE 26/06/19	

Planning History**16/505299/OUT**

Outline application for erection of a 60-bed care home with amenity space, car and cycle parking, associated development, landscaping and access.

Approval was granted for the detail of the vehicular access on(7/12/17. A copy of the decision notice is appended, and Members will note the conditions set out, which will in due course govern the development of the site.

SW/12/1392

Outline planning permission granted for a 60-bed care home.(Details of access only were approved.) Granted 15/2/13.

SW/08/1127

Outline application for development of housing, employment up to 3000sqm, public open space and pavilion (up to 110sqm), with access from School Lane and Sheppey Way, including roads, cycle paths, foot paths, stream crossings, landscaping and ancillary works.

(The current application is sited on land that falls within the site boundary for this permission. As Members may well be aware, the housing, open space and pavilion have now been built out.) Granted 6/6/11

1. DESCRIPTION OF SITE

1.1 The application site comprises of 0.44 hectares on land to the west of Sheppey Way known as land adjacent Coleshall Farm. The land was previously used for arable farming but is now vacant land enclosed by temporary mesh fencing. The site is lined with poplar trees on the southern side. These trees to the boundary are not subject to a Tree Protection Order.

- 1.2 There is a public right of way ZR92 which runs north-south through the centre of the wider area which then continues as ZU52, which in turn runs parallel with the poplar trees connecting to Sheppey Way and would be unaffected by the development of the site.
- 1.3 Access to the site is from Sheppey Way. The land adjoining to the west, to which the access road from Sheppey Way would be shared with, was allocated for an employment use but does not benefit from an extant permission and remains as an open field.
- 1.4 Immediately to the north are newly completed housing developments (approved under SW/08/1227) accessed from Peach Blossom Drive. This housing development and further beyond entails a mix of two-storey and three-storey properties. Further north of the site is Iwade medical centre located on Monins Road which is separated from the new housing by an area of open space. To the east of the site is Featherbed Farm, which consists of open grazing fields and a small farm shop. This land is the subject of a current application for 10 dwellings and a replacement farmshop (reference 19/500776/FULL). The land to the north of Featherbed Farm, known as Pond Farm is subject to a current application for the erection of 72 dwellings (reference 19/501332/FULL).
- 1.5 The surrounding land to the south is currently open arable fields.
- 1.6 The site is located close to the A249, which is reached via Sheppey Way. There are also links to public transport within the village with bus stops located approximately 60m away and a train station at Kemsley, providing links to Sittingbourne and Sheerness.

2. PROPOSAL

- 2.1 Approval is sought for reserved matters relating to layout, scale and appearance of the proposed building and the landscaping of the site pursuant to outline application 16/505299/OUT for construction of a 60-bed care home.
- 2.2 The indicative drawings of the approved outline scheme detailed a two-storey building measuring 2,878 sqm. A car parking area was indicated to the front of the building with 20 car parking spaces and two disabled spaces. The number of parking spaces in this application has now been changed to 25 which include 2 disabled spaces. Cycle storage for up to 8 bicycles was specified and some degree of landscaping around the perimeter boundary of the site. The layout plan presented a U-shaped building with wings on either side providing 30 bedrooms to each floor. The proposed location of the building indicated a 4m buffer strip from the existing poplar trees to the southern boundary. In addition, a 10m buffer strip was also detailed to the Sheppey Way frontage allowing a good separate distance from the proposed building and the road.
- 2.3 The building now proposed also comprises 2 storeys and measures 2,917m², it has an overall height of 10.95m, an eaves height of 5.55m, a depth of 29.3m and a width of 72m. The footprint of the building is a long rectangle with two wings at the ends, one projecting towards the north and the other projecting towards the south. The design of the building combines both traditional and modern elements of design such a gable features and large expanses of glazing in parts, and materials including brown brick and black weatherboarding.
- 2.4 At the front of the building there is a parking area with 25 car parking spaces which includes 2 disabled spaces and 12 cycle spaces. At the rear of the building is a landscaped garden area. Two pedestrian paths run from each end of the car park around the sides of the building to the landscaped garden at the rear.

- 2.5 Around the sides of the building and continuing to the landscaped garden at the rear is soft landscaping, in total 25 trees are proposed along the front of the car parking area and along the boundary with Sheppey Way. The row of poplar trees along the southern boundary are to remain with a 4m buffer strip from these trees to the southern boundary as was indicative in the approved outline permission. In addition the 10m buffer strip to the Sheppey Way frontage that was indicative in the approved outline permission is also shown on this application.
- 2.6 The residents of the care home would be elderly people with dementia. The residents accommodation includes 60 rooms, each with ensuite shower rooms and a sleeping area and seating area. Indoor communal facilities for the residents include dual purpose activity / lounge, lounge / diners and seating / activity areas, hairdressers, bathrooms and toilets. Outdoor facilities for the residents include a landscaped garden and seating areas. The accommodation to support the functioning of the care home include a café, offices, kitchen, laundry rooms, storage rooms, and refuse store and 2 lifts. Other facilities include a staff lounge, staff training room, staff male and female toilets.

3. SUMMARY INFORMATION

	Existing	Proposed	Change (+/-)
Site Area (ha)	0.44ha	0.44ha	0
Approximate Ridge Height (m)	N/A	8.2m and 10.95m	N/A
Approximate Eaves Height (m)	N/A	5.55	N/A
Approximate Depth (m)	N/A	29.3m	N/A
Approximate Width (m)	N/A	72m	N/A
No. of Storeys	N/A	2	N/A
Net Floor Area	N/A	2,917m ²	N/A
Parking Spaces	N/A	25 (plus 12 cycle spaces)	N/A
No. of Residential Units		60 beds care home	
No. of Affordable Units	N/A	N/A	N/A

4. PLANNING CONSTRAINTS

Public right of way ZU52

Potential Archaeological Importance (Matters relating to archaeological importance have been dealt with at the outline stage).

Listed building (The distance of the nearest part of the proposed building to the listed building (grade II listed Coleshall Farm Farm House) is 280m and there would be a screen of poplar trees between the two).

5. POLICY AND CONSIDERATIONS

The National Planning Policy Framework (NPPF). The following chapters are relevant:

(Chapter 2 Achieving sustainable development - para 8, Chapter 5 Delivering sufficient supply of homes – paras 59 & 61, Chapter 9 Promoting sustainable transport – paras 102, 103, 108 & 110, Chapter 11 Making effective use of land – para 117, Chapter 12 Achieving well-designed places- paras 124, 127 & 128, Chapter 14 Meeting the challenge of climate change, flooding and coastal change – para 163, Chapter 15 Conserving and enhancing the natural environment – para 170 and Chapter 16 Conserving and enhancing the historic environment – para 193 & 194).

The relevant Local Plan policies are as follows:

(Policies: ST 1 (Delivering sustainable development in Swale); ST 3 The Swale Settlement Strategy); CP 2 (Promoting sustainable transport); CP 4 (Requiring good design), CP 6 (Community facilities and services to meet local needs); CP 7 (Conserving and enhancing the natural environment); DM 6 (Managing transport demand and impact), DM 7 (Vehicle parking); DM 14 (General development criteria); DM 19 (Sustainable design and construction); DM 21 (Water, flooding and drainage); DM 28 (Biodiversity and geological conservation); DM29 (woodlands, trees and hedges), DM32 (development involving listed buildings), and DM 34 (Scheduled Monuments and archaeological sites).

6. LOCAL REPRESENTATIONS

6.1 A site notice was posted and the application was advertised in the local press. There have been 6 objections.

6.2 Reasons for objection are summarised as follows:

- Lack of information since the outline permission
- Lack of parking spaces for residents, staff and visitors
- Too close to neighbouring residential properties resulting in overlooking into gardens, will block out light to gardens
- Pollution from increased traffic
- The entrance is on a busy road, therefore a road hazard
- Building works will be disruptive and will cause noise and dust
- Wildlife will be adversely affected
- Pressure on health services (GPs, hospitals)
- There is not enough outdoor amenity space for the residents
- The entrance to the village will lose its rural aesthetic
- The building is domineering.

7. CONSULTATIONS

7.1 Environment Agency – have no comments to raise.

7.2 Natural England – have no comments to raise.

7.3 Kent County Council Drainage – Raise no objection.

7.4 Kent County Council Highways and Transportation – Raise no objection. Initial comments specified requirement for swept path analysis, the parking spaces to be increased in size from 2.4 x 4.8 metres to 2.5 x 5 metres and 3.7 x 5.5 metres for disabled bays in line with SPG4, a 1 metre turning aisle implemented on the other side of the

disabled bays closest to the building entrance and the space in the southeast corner of the parking area bound on one side by railings to be widened to 2.7 metres.

Final comments, in the light of additional information, by KCC Highways and Transportation related to advising conditions in respect of the submission of a Construction Management Plan, provision and permanent retention of vehicle parking and vehicle loading / unloading facilities and provision and permanent retention of secure cycle parking. Also KCC require 10% of car parking spaces to have electric charging points, which in this case equates to 2.

- 7.5 Kent County Council Strategic Commissioning – Raise no objection. KCC Strategic Commissioning recognise the need for more services of this nature in the area.
- 7.6 Iwade Parish Council – Raise no objection. The parish council had the following comments to make: “The Parish Council has no objections to the application. However, Councillors do have concerns regarding parking. We understand there are 25 spaces but taking into account staff and visitors we can foresee cars being parked on the access road and Sheppey Way. Planning application 18/506677/HYBRID is being considered and the entrance to this development will be in come proximity to the care home. The Parish Council feels that in light of the existing traffic calming and the two entrances this area should be looked at with a view to redesigning the highway to avoid future issues”. It should be noted that KCC Highways and Transportation raise no objection to the proposal on these grounds.
- 7.7 Kent Police – Raise no objection. Kent Police advise a number of security measures to be incorporated into the scheme.
- 7.8 Southern Water – Raise no objection and have no comments to make.
- 7.9 Environmental Health – Raise no objection. Conditions have been advised relating to hours of construction work, a mechanical ventilation system that may be installed, submission of a programme for the suppression of dust and lighting at the site.

8. BACKGROUND PAPERS AND PLANS

The proposed plans are as follows:

Application form
 Supporting letter
 Site Location Plan
 Existing site plan and topographical survey (1827/PA/002)
 Proposed first floor plan (1827/PA/020)
 Proposed roof plan (1827/PA/030)
 Proposed elevations (1827/PA/040)
 Proposed elevations and sections (1827/PA/041)
 Proposed elevations (1827/PA/042)
 Proposed elevations sections – illustrative (1827/PA/043)
 Proposed site plan (1827/PA/003 Rev B)
 Proposed ground floor (1827/PA010 Rev B)
 Swept path analysis (402.05494.00006.14.TR01.1)
 General Arrangement Plan (Colour) SLR-06594-0001 P03
 General Arrangement Plan (SLR-06594-0002 P06)
 Softworks Plan (SLR-06594-0003 P05)
 CGI View from NE
 Arboricultural Development Statement

Ecological Assessment
Investigation for Archaeological Mitigation
Flood Risk Assessment and Drainage Strategy

9. APPRAISAL

9.1 Layout

As noted above, the proposed building is situated in the centre of the site. Its footprint comprises an elongated rectangle with a forward projecting wing at its east end (facing Sheppey Way), and a rearward projecting wing at its west end. At the northern side of the site, facing the access road, but also visible from Sheppey Way, will be a car park for visitors and staff. Swept path analysis (drawing ref: 402.05494.00006.14.TR01.1) shows that the car park has adequate manoeuvrable space for both small and large vehicles. Soft landscaping comprising trees and shrubs will help to soften the visual impact of the car park against the building frontage. There is further tree planting along the east boundary of the site which would also soften the impact of the side elevation of the building along Sheppey Way. At the southern side of the site, the existing dense row of poplar trees is to remain, providing a buffer between the development and the open countryside and also screening the development from views from the south. Between the southern elevation of the building and the row of poplar trees would be a garden for the dementia patients. The eastern boundary has been designed with open rail fences to allow for an open frontage along Sheppey Way, whilst the west will have close boarded fences to retain the sense of security for the occupants of the care home. The southern boundary with its poplar trees will have a 1800mm metal estate rail fence to allow views into the open countryside. The forecourt will have rail fences to retain an open and welcoming area. The layout of the development in general is considered to be of a good standard and in accordance with the relevant elements of the NPPF and the corresponding Local Plan policies and would encourage residents, staff and visitors to be able to freely move around the site.

Character and Appearance

- 9.2 The proposed building is a large two storey structure, reflecting the outline planning permission for a 60-bed care home that has already been granted (see “Summary information” set out above) A description of the layout of the building has already been given. The building has both traditional and modern elements. Its roof is traditional, with gable features at the front and rear. Modern features include considerable glazing at the rear and floor to ceiling windows and Juliet balconies / safety barriers to large windows. While the choice of materials are traditional (brick, render and black weather boarding), their arrangement on the external elevation of the building would be in the form of a modern application. The black weather boarding, also reflects Kentish rural architecture. It should be noted that the design of the building is bespoke and not a corporate clone design which the Council was not in favour of as this works against creating distinct places. The above having been said, the building is considered to be an example of good design, which together with the proposed hard and soft landscaping will result in a sympathetic addition to this important site on the edge of Iwade village.

Impact on the Setting of a Listed

- 9.3 Members will note that the principle of a 60-bedroom care home is already established on this site and that, as part of the outline planning permission, the height of the building has been limited to two storeys, which among other things limits the scope for harmful impacts on heritage assets, including Coleshall Farmhouse, which is Grade II listed.

The listed building in question is 280m to the west of the application site, it is known as Coleshall Farmhouse and grade II listed. Given this separation distance and row of intervening existing poplar trees it is considered that the development is unlikely to have an adverse impact on the setting of this listed building.

Residential Amenity

- 9.4 The nearest residential dwellings would be those houses within the recently-constructed estate to the north. The nearest dwelling being 28m away (from the nearest part of the building). Objection has been raised that the proposed building would result in overlooking and loss of light to the rear gardens of these houses. However, the separation distances between these existing dwellings and the proposed building are considered sufficient to mitigate against such adverse residential amenity impacts. Intermittent tree planting will further soften the impact.
- 9.5 Members will also note that the Environmental Protection Team Leader raised no objection to the outline planning permission subject to conditions in respect of construction hours, piling hours, dust suppression and external lighting details. The outline permission includes four conditions to cover these matters.

Highways and Parking

- 9.6 KCC Highways and Transportation raised no objection to the proposal, but advised a series of conditions relating to the submission of a Construction Management Plan and sustainable modes of transport. Members will note paragraph 7.4 above gives details of these conditions.

Landscaping

The soft landscaping of the site has already been commented on in the “Layout” section of this report, so not much further shall be said here except that a soft landscape plan has been submitted detailing the species of plants. All tree species proposed are native in origin and include Wild / Common Cherry, Bird Cherry, Hornbeam and Field Maple. Hard landscaping within the site includes permeable block paving for the car parking areas, paving slabs mainly within the garden area and tarmac for the pedestrian pathways, footpaths and road. A condition for the submission of those landscaping details that full details haven’t already been provided for is imposed below.

10. CONCLUSION

- 10.1 On the basis of the above, I consider that the reserved matters details that are proposed in respect of the layout, scale, appearance and landscaping of the development are acceptable and that, as such, the development would enhance the existing character and appearance of the area and will not give rise to harmful impacts to residential amenity or in any other regard.

11. RECOMMENDATION

GRANT Subject to the following conditions:

CONDITIONS to include

- 1) No development beyond the construction of foundations shall take place until full until full details of both hard and soft landscape works (that have not been already been provided) have been submitted to and approved in writing by the Local Planning Authority. These details shall include existing trees, shrubs and other features, planting schedules of plants, noting species (which shall be native species and of a type that will encourage wildlife and biodiversity), plant sizes and numbers where appropriate, means of enclosure, hard surfacing materials, and an implementation programme.

Reason: In the interests of the visual amenities of the area and encouraging wildlife and biodiversity.

- 2) Submission of a Construction Management Plan before the commencement of any development on site to include the following:
 - (a) Routing of construction and delivery vehicles to / from site
 - (b) Parking and turning areas for construction and delivery vehicles and site personnel
 - (c) Timing of deliveries
 - (d) Provision of wheel washing facilities
 - (e) Temporary traffic management / signage

Reason: In the interests of highway safety and convenience.

- 3) There shall be the provision and permanent retention of the vehicle parking spaces shown on the submitted plans prior to the use of the site commencing.

Reason: To ensure there is sufficient parking provision for the proposed development.

- 4) There shall be the provision and permanent retention of the vehicle loading/unloading and turning facilities shown on the submitted plans prior to the use of the site commencing.

Reason: To ensure that there is sufficient space for the manoeuvring of vehicles within the site.

- 5) There shall be the provision and permanent retention of secure, covered cycle parking facilities prior to the use of the site commencing in accordance with details to be submitted to and approved by the Local Planning Authority.

Reason: To ensure there is sufficient cycling parking provision in the interests of sustainable travel.

- 6) No development beyond the construction of foundations shall take place until details of electric vehicle charging facilities have been submitted to and approved in writing by the Local Planning Authority. The agreed facilities shall then be provided in full before the development is first used and then retained in perpetuity.

Reason: To encourage sustainable modes of transport.

- 7) The development hereby approved shall be carried out in accordance with the following approved plans:

Site Location Plan

Existing site plan and topographical survey (1827/PA/002)

Proposed first floor plan (1827/PA/020)

Proposed roof plan (1827/PA/030)

Proposed elevations (1827/PA/040)

Proposed elevations and sections (1827/PA/041)

Proposed elevations (1827/PA/042)

Proposed elevations sections – illustrative (1827/PA/043)

Proposed site plan (1827/PA/003 Rev B)

Proposed ground floor (1827/PA010 Rev B)

Swept path analysis (402.05494.00006.14.TR01.1)

General Arrangement Plan (Colour) SLR-06594-0001 P03

General Arrangement Plan (SLR-06594-0002 P06)

Softworks Plan (SLR-06594-0003 P05)

CGI View from NE

Arboricultural Development Statement

Reason: For the avoidance of doubt and in the interests of proper planning.

- 8) The materials to be used in the construction of the external surfaces of the extension hereby permitted shall match those on the existing building in terms of type, colour and texture.

Reason: In the interests of visual amenity.

- 9) No construction work in connection with the development shall take place on any Sunday or Bank Holiday, nor on any other day except between the following times: Monday to Friday 0730 - 1800 hours, Saturdays 0830 - 1300 hours unless in association with an emergency or with the prior written approval of the District Planning Authority.

Reason: In the interests of residential amenity.

- 10) Details of any mechanical ventilation system that will be installed shall be submitted to and approved by the District Planning Authority and upon approval shall be installed, maintained and operated in a manner which prevents the transmission of odours, fumes, noise and vibration to neighbouring premises.

Reason: In the interests of residential amenity

- 11) The commencement of the development shall not take place until a programme for the suppression of dust during the construction of the development has been submitted to and approved in writing by the District Planning Authority. The measures approved shall be employed throughout the period of construction unless any variation has been approved by the District Planning Authority.

Reason: In the interests of residential amenity.

- 12) No development shall take place until details of the lighting columns, the type and luminance of the lighting units with glare shields and details of lux levels both inside and outside the site have been submitted to and approved in writing by the District Planning Authority. All lighting shall be switched off (with the exception of any agreed security lights) when the site is not in use.

Reason: In the interests of residential amenity.

Informatives

It is the responsibility of the applicant to ensure, before the development hereby approved is commenced, that all necessary highway approvals and consents where required are obtained and that the limits of highway boundary are clearly established in order to avoid any enforcement action being taken by the Highway Authority.

Across the county there are pieces of land next to private homes and gardens that do not look like roads or pavements but are actually part of the road. This is called 'highway land'. Some of this land is owned by The Kent County Council (KCC) whilst some are owned by third party owners. Irrespective of the ownership, this land may have 'highway rights' over the topsoil. Information about how to clarify the highway boundary can be found at <https://www.kent.gov.uk/roads-and-travel/what-we-look-after/highway-land/highway-boundary-enquiries>

The applicant must also ensure that the details shown on the approved plans agree in every aspect with those approved under such legislation and common law. It is therefore important for the applicant to contact KCC Highways and Transportation to progress this aspect of the works prior to commencement on site.

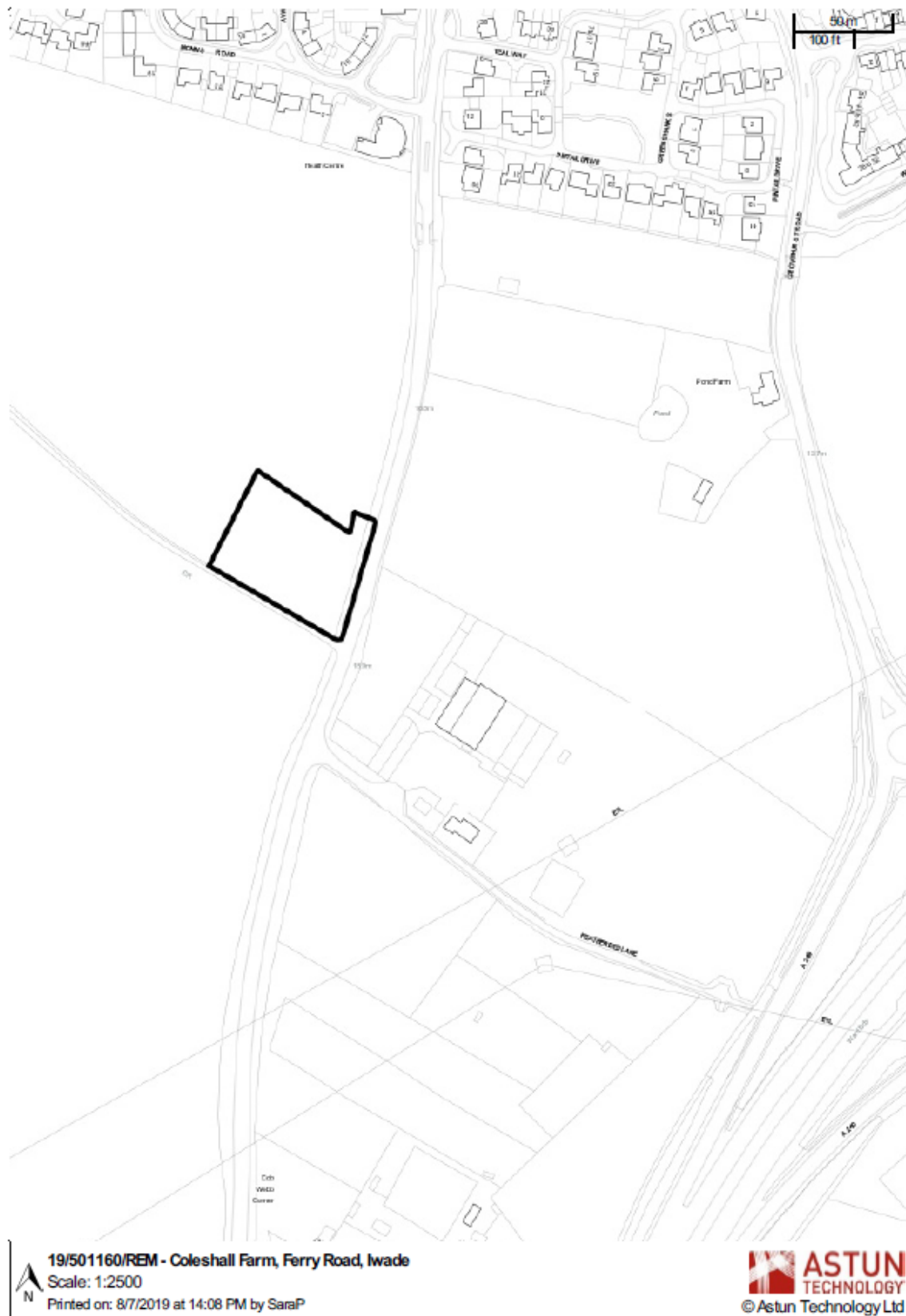
The Council's approach to the application

In accordance with paragraph 38 of the National Planning Policy Framework (NPPF), July 2018 the Council takes a positive and proactive approach to development proposals focused on solutions. We work with applicants/agents in a positive and creative way by offering a pre-application advice service, where possible, suggesting solutions to secure a successful outcome and as appropriate, updating applicants / agents of any issues that may arise in the processing of their application.

The application was considered by the Planning Committee where the applicant/agent had the opportunity to speak to the Committee and promote the application.

NB For full details of all papers submitted with this application please refer to the relevant Public Access pages on the council's website.

The conditions set out in the report may be subject to such reasonable change as is necessary to ensure accuracy and enforceability.



APPENDIX 1

Middlefields Limited
 C/O DHA Planning
 Eclipse House
 Eclipse Park
 Sittingbourne Road
 Maidstone
 Kent
 ME14 3EN



7 December 2017

PLANNING DECISION NOTICE

APPLICANT:	Middlefields Limited
DEVELOPMENT TYPE:	Large Maj Dwellings
APPLICATION REFERENCE:	16/505299/OUT
PROPOSAL:	Outline application for erection of a 60 bed care home with amenity space, car and cycle parking, associated development, landscaping and access (Access being sought)
ADDRESS:	Coleshall Farm Ferry Road Iwade Kent ME9 8QY

The Council hereby **GRANTS** OUTLINE planning permission subject to the following Condition(s):

- (1) Details relating to the layout, scale and appearance of the proposed building(s), and the landscaping of the site shall be submitted to and approved by the Local Planning Authority before any development is commenced.

Reason: In pursuance of Section 92 of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004.
 - (2) Application for approval of reserved matters referred to in Condition (1) above must be made not later than the expiration of three years beginning with the date of the grant of
-

MKPS – Working in Partnership with: Swale Borough Council
 Please Note: All planning related correspondence for SBC should be sent to:
 Mid Kent Planning Support, Maidstone House, King Street, Maidstone ME15 6JQ
 Email: planningsupport@midkent.gov.uk
 Access planning services online at: www.swale.gov.uk or submit an application via
www.planningportal.gov.uk

APPENDIX 1

outline planning permission.

Reason: In pursuance of Section 92 of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004.

- (3) The development to which this permission relates must be begun not later than the expiration of two years from the final approval of the reserved matters or, in the case of approval on different dates, the final approval of the last such matter to be approved.

Reason: In pursuance of Section 92 of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004.

- (4) The development hereby approved shall be carried out in accordance with the following approved drawings in so far as it relates to access, as detailed on indicative drawing numbers:
A-596 O1 Rev A; A-596 02 Rev P7; A-596 03 Rev A; A-596 04 Rev A and A-596 OS-B.

Reason: For the avoidance of doubt and in the interests of proper planning.

- (5) No development shall take place until a programme for the suppression of dust during the construction of the development has been submitted to and approved by the Local Planning Authority. The measures shall be employed throughout the period of construction unless any variation has been approved by the Local Planning Authority

Reason: In the interests of residential amenity

- (6) The details submitted pursuant to condition (1) shall show a buffer strip of no less than 4 metres as separation distance of the proposed development from the root protection zone of the line of poplar trees running parallel to the southern boundary of the application site and shown on indicative drawing no. A-596 Rev A. Thereafter development shall be implemented and maintained as approved.

Reason: In the interests of visual amenity and landscape quality and to protect the mature trees.

- (7) The details submitted pursuant to condition (1) shall show the care home set back from the site frontage with the Sheppey Way by a minimum of 10 metres, and extending to no more than two storeys in height.

Reason: In the interests of visual amenity and the character and appearance of the area.

- (8) The landscaping details submitted pursuant to condition (1) shall include full details of both hard and soft landscape works including existing trees, shrubs and other features, planting schedules of plants, noting species (which shall be native species and of a type that will encourage wildlife and biodiversity), plant sizes and numbers where appropriate, means of enclosure, hard surfacing materials, and an implementation programme. All hard and soft landscape works shall be carried out in accordance with the approved details. The works shall be carried out prior to the occupation of any part of the development or in accordance with the programme agreed in writing with the

APPENDIX 1

Local Planning Authority. Upon completion of the approved landscaping scheme, any trees or shrubs that are removed, dying, being severely damaged or becoming seriously diseased within five years of planting shall be replaced with trees or shrubs of such size and species as may be agreed in writing with the Local Planning Authority, and within whatever planting season is agreed.

Reason: In the interests of the visual amenities of the area and encouraging wildlife and biodiversity.

- (9) No development shall take place until a tree protection plan; arboricultural impact assessment and arboricultural method statement in accordance with the recommendations of BS 5837:2012 have been submitted to and approved in writing by the Local Planning Authority. The method statement shall detail implementation of any aspect of the development that has the potential to result in the loss of or damage to trees, including their roots, and shall take account of site access, demolition and construction activities, foundations, service runs and level changes. It shall also detail any tree works necessary to implement the approved scheme.

Reason: To safeguard existing trees to be retained and to ensure a satisfactory setting and external appearance to the development.

- (10) Prior to the commencement of the development hereby approved full details of the method of disposal of foul and surface waters as part of a detailed drainage strategy shall be submitted to (and approved in writing by) the local planning authority. This detailed drainage scheme shall demonstrate that the surface water generated by this development (for all rainfall durations and intensities up to and including the climate change adjusted critical 100yr storm) can be accommodated and disposed of within the curtilage of the site. The risk of ground instability associated with discharge of surface water into the underlying soils should be assessed and the infiltration rates confirmed with a suitable ground investigation.

Reason: To ensure that the principles of sustainable drainage are incorporated into this proposal and to ensure ongoing efficacy of the drainage provisions.

- (11) No building hereby permitted shall be occupied until details of the implementation, maintenance and management of the sustainable drainage scheme have been submitted to and approved in writing by the local planning authority. The scheme shall be implemented and thereafter managed and maintained in accordance with the approved details. Those details shall include:
- i) a timetable for its implementation, and
 - ii) a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public body or statutory undertaker, or any other arrangements to secure the operation of the sustainable drainage system throughout its lifetime.

Reason: To ensure that the principles of sustainable drainage are incorporated into this proposal and to ensure ongoing efficacy of the drainage provisions.

- (12) The details submitted pursuant to condition (1) shall include biodiversity enhancements, and a lighting scheme designed to minimise impact on any bats within

APPENDIX 1

the surrounding area in accordance with the Bat Conservation Trust's Bats and Lighting in the UK. The details as agreed shall be implemented in full prior to the first occupation of the development.

Reason: In order to secure biodiversity enhancements and to ensure no harm to commuting/foraging bats in the area and to ensure that such matters are dealt with before development commences.

- (13) No development shall take place until the applicant, or their agents or successors in title, has secured the implementation of a programme of archaeological work in accordance with a written specification and timetable which has been submitted to and approved by the Local Planning Authority.

Reason: To ensure that features of archaeological interest are properly examined and recorded and to ensure that such matters are dealt with before development commences.

- (14) No impact pile driving in connection with the construction of the development shall take place on the site on any Saturday, Sunday or Bank Holiday, nor on any other day except between the following times :-
Monday to Friday 0900 - 1700 hours unless in association with an emergency or with the prior written approval of the Local Planning Authority.

Reason: In the interests of residential amenity.

- (15) No demolition or construction work in connection with the development shall take place on any Sunday or Bank Holiday, nor on any other day except between the following times :-
Monday to Friday 0730 - 1800 hours, Saturdays 0830 - 1300 hours unless in association with an emergency or with the prior written approval of the Local Planning Authority.

Reason: In the interests of residential amenity.

- (16) Before any work is commenced on site, a Construction Management Plan, including details of delivery routes and the timing of these, shall be submitted to and approved in writing by the Local Planning Authority and the development shall not proceed other than in accordance with the approved programme.

Reason: In the interests highway safety and amenity.

- (17) As an initial operation on site, adequate precautions shall be taken during the progress of the works to prevent the deposit of mud and similar substances on the public highway.

Reason: In the interests of amenity and road safety, and to ensure that such matters are agreed before work is commenced.

- (18) The development hereby permitted shall not be occupied until space as shown on the approved drawings has been laid out within the site in accordance with the approved

APPENDIX 1

drawings for refuse storage, car and cycle parking, and vehicle loading and unloading areas. Thereafter development shall be maintained as approved.

Reason: To ensure the provision and retention of adequate off-street parking facilities for cars and cycles in the interests of highway safety.

- (19) The building hereby approved shall be constructed to BREEAM 'Good' Standard or an equivalent standard and prior to the use of the building the relevant certification shall be submitted to the Local Planning Authority confirming that the required standard has been achieved unless otherwise agreed in writing by the Local Planning Authority.

Reason: In the interest of promoting energy efficiency and sustainable development.

- (20) The premises shall be used for the purpose of a care home and for no other purpose, including any other purposes in Class C2 of the Schedule to the Town and Country Planning (Use Classes) Amendment Order 2010.

Reason: In the interests of the amenities of the area

- (21) Details of any mechanical ventilation system that is to be installed shall be submitted to and approved by the Local Planning Authority and upon approval shall be installed, maintained and operated in a manner that prevents the transmission of odours, fumes, noise and vibration to neighbouring premises.

Reason: In the interests of residential amenity

Informative(s):

- (1) All nesting birds and their young are legally protected under the Wildlife and Countryside Act 1981 (as amended) and as such any vegetation must be removed outside the breeding bird season, and if this is not possible an ecologist must examine the site prior to works starting and if any nesting birds are recorded all works must cease within that area.
- (2) It is the responsibility of the applicant to ensure, before the development hereby approved is commenced, that all necessary highway approvals and consents where required are obtained and that the limits of highway boundary are clearly established in order to avoid any enforcement action being taken by the Highway Authority. The applicant must also ensure that the details shown on the approved plans agree in every aspect with those approved under such legislation and common law. It is therefore important for the applicant to contact KCC Highways and Transportation to progress this aspect of the works prior to commencement.
- (3) The applicant or developer should enter into a formal legal agreement with Southern Water to provide the necessary sewerage infrastructure required to service the development. Please contact Southern Water, Sparrowgrove House, Sparrowgrove, Otterbourne, Hampshire SO21 2SW (Tel 0330 3030119 or www.southernwater.co.uk).

APPENDIX 1

- (4) A formal application for connection to the public sewerage system is required in order to service the development. Please contact Southern Water, Sparrowgrove House, Sparrowgrove, Otterbourne, Hampshire SO21 2SW (Tel 0330 3030119 or www.southernwater.co.uk).
- (5) This development is also subject to an agreement under Section 106 of the Town and Country Planning Act

Please note you must comply with all the conditions attached to this permission. Otherwise the permission may not be valid and any development may be unauthorised.

The Council's approach to this application:

In accordance with paragraphs 186 and 187 of the National Planning Policy Framework (NPPF), the Council takes a positive and proactive approach to development proposals focused on solutions. We work with applicants/agents in a positive and proactive manner by: <https://www.gov.uk/guidance/check-if-you-need-an-environmental-permit> Where possible, suggesting solutions to secure a successful outcome. As appropriate, updating applicants/agents of any issues that may arise in the processing of their application.

In this instance:

The application was considered by the Planning Committee where the applicant/agent had the opportunity to speak to the Committee and promote the application.



James Freeman
Head of Planning Services
Swale Borough Council

IMPORTANT - YOUR ATTENTION IS DRAWN TO THE ATTACHED NOTES